

Committee:	Date:
Planning Applications Sub Committee	17 April 2024
Subject: Livery Hall, Ironmongers' Hall, Shaftesbury Place, London, EC2Y 8AA Demolition of Ferroners' House alongside external alterations to the facade and roof level of Ironmongers' Hall, internal reconfiguring to cores and back of house areas and associated works in association with the development proposed at London Wall West (140 London Wall, 150 London Wall, Shaftesbury Place, and London Wall Car Park, London, EC2Y).	Public
Ward: Aldersgate Street	For Decision
Registered No: 23/01276/LBC	Registered on: 20 November 2023
Conservation Area:	Listed Building: Grade II

Summary

Listed Building Consent is sought for the demolition of Ferroner's House related external alterations to the facade and roof level of Ironmongers' Hall following demolition, internal reconfiguring to cores and back of house areas and associated works in relation to the development proposed at London Wall West (140 London Wall, 150 London Wall, Shaftesbury Place, and London Wall Car Park, London, EC2Y).

The significance of Ironmongers Hall is set out in the main report 23/01304/FULEIA.

Ferroner's House which is attached and linked to Ironmongers Hall dates from the 1970s and is specifically excluded from the listed building designation. This is of no heritage value and would be demolished and replaced with a single storey brick extension in its place which would be lower in height than the projecting porch to Ironmongers' Hall.

This demolition would reveal more of the existing stair/lift tower attached to Ironmongers Hall also excluded from the listing designation. Alterations are proposed to the stair/lift tower to improve its relationship with the listed building. This includes articulating the top of the stair/lift tower by sloping the roof of the

stair tower above the gable end and tiling it so that it responds aesthetically and more sensitively to the listed building.

These elements do not technically require listed building consent but have been included in the application for the sake of completeness and due to the interfaces with the listed building which would need to be detailed via conditions.

Internally at lower-ground level a small storage room which forms part of the modern fit out within the existing circulation space and simple historic nibs would be demolished. A new doorway would be created in the external north elevation within the lower-ground floor lobby to provide access to a new service area for the Ironmongers' Hall. The proposed new door is located within a structure comprising simple and functional brickwork. These internal alterations are considered to have neutral impacts and are in areas of limited heritage significance.

In addition, proposals include demolition and reconstruction of part of the perimeter wall to the south and east of the Ironmongers' Hall which again does not form part of the listed building but adjoins its boundary. This would be rebuilt in brick taking the form of a traditional garden wall to the south and east. A new boundary treatment is also proposed to the north, and this would be metalwork providing an opportunity to forge a relationship between the historic trade of the Ironmongers'. These details again would be required under conditions.

The proposed demolition works to the Ironmongers' Hall (Grade II) have been conceived to preserve the original fabric of the listed buildings as far as is possible and to fully maintain their heritage significance.

There are extensive objections including from the Twentieth Century Society and the Ironmongers Livery Hall. These objections are largely due to indirect rather than direct impacts and all of these are addressed in detail in the main application 23/01304/FULEUIA.

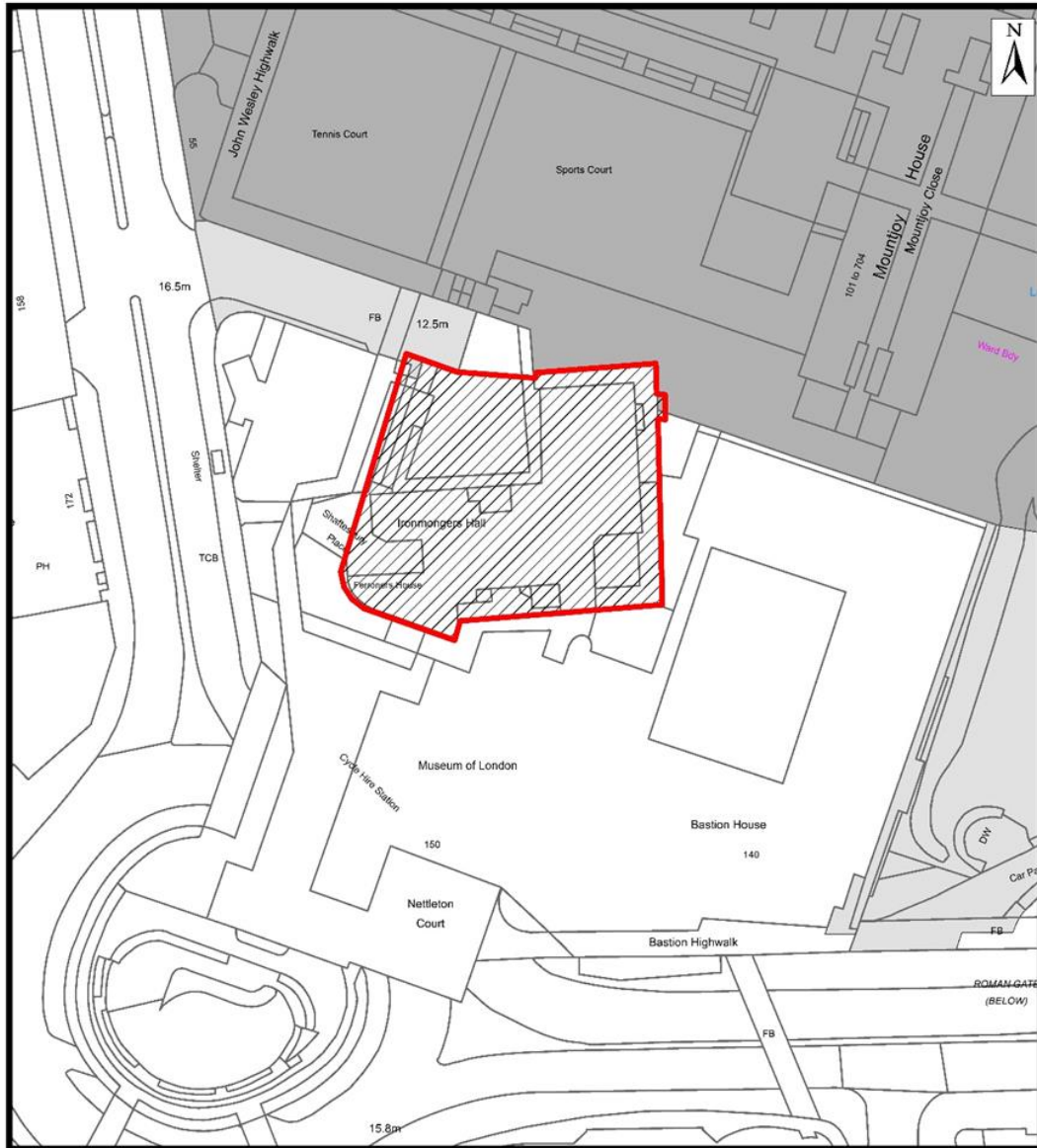
Overall, the listed building consent proposals are minor and affect areas of no or low interest and the heritage significance of the Ironmongers Livery Hall and an appreciation of it, would be preserved. The proposals would comply with Local Plan Policies CS12, DM12.3 draft City Plan policies S11 and HE1 and London Plan Policy HC1, and with the objective set out in Section 16 of the Planning (Listed Building and Conservation Areas) Act 1990 and relevant NPPF policies.

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Recommendation

- (1) That Listed Building Consent be granted for the above proposal in accordance with the details set out in the attached schedule.

Site Location Plan



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ADDRESS:
Ironmongers' Hall

CASE No.
23/01276/LBC

-  SITE LOCATION
-  LISTED BUILDINGS
-  CONSERVATION AREA BOUNDARY
-  CITY OF LONDON BOUNDARY

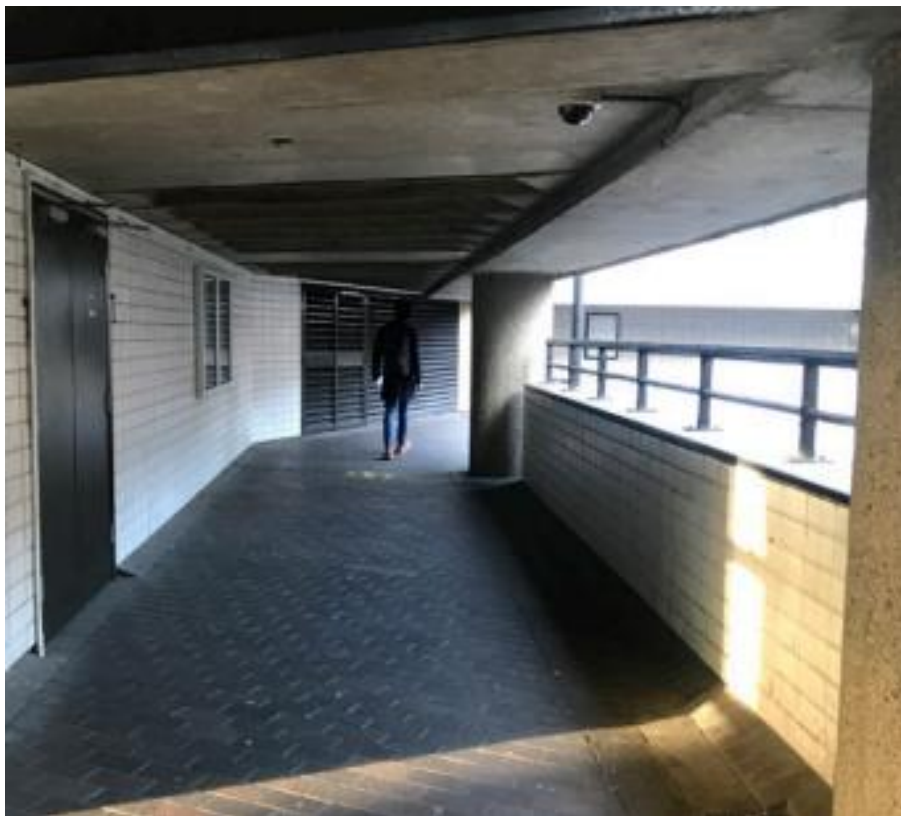


ENVIRONMENT DEPARTMENT

Site photograph existing Ironmongers Hall existing from the west



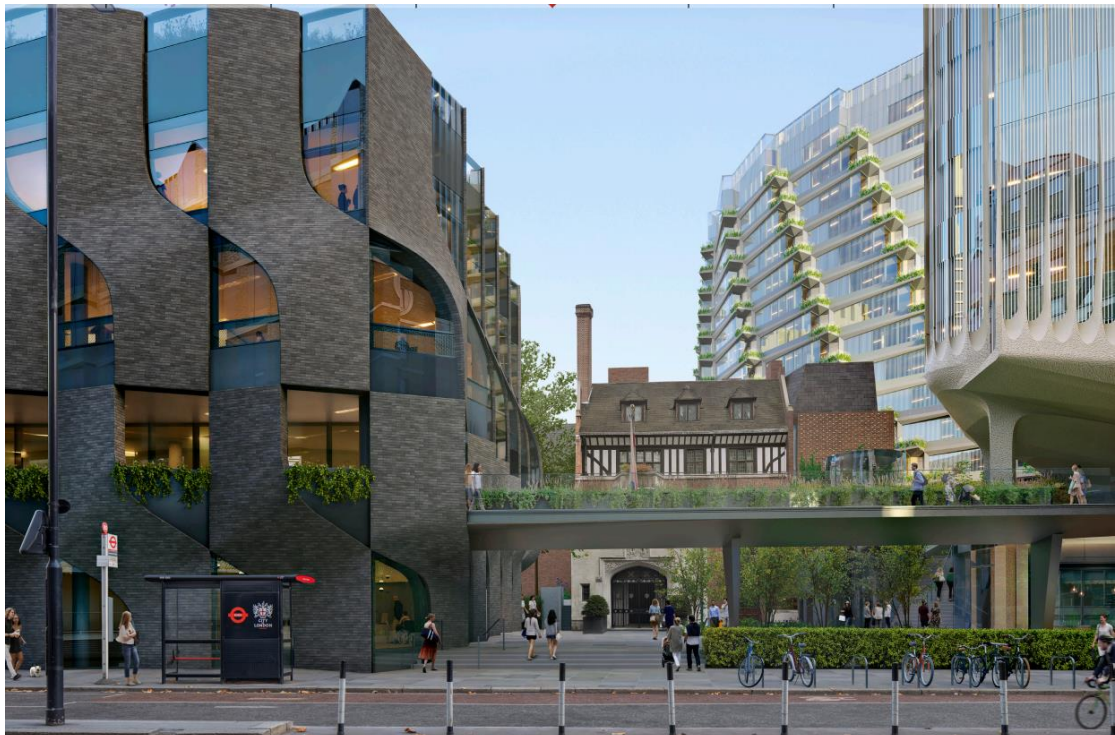
Site photograph Ironmongers Hall existing from existing Highwalk looking east with Bastion House and MoL



Site photograph existing Highwalk at Ironmongers Hall



Site photograph existing view towards Ironmongers Hall Aldersgate Street



Proposed view towards Ironmongers Hall, Aldersgate Street with the new highwalk, New Bastion House in distance, North Commercial Building and the Rotunda



Proposed looking across Aldersgate Plaza under the new Highwalk



View from the new Highwalk to Ironmongers Hall with remodelled lift tower view over Aldersgate Square, the North Commercial building to the left, new accessible lift and staircase to podium level

Existing northern boundary of CLGS and car park/service area



Existing views of edge of Barbican Estate



Proposed view towards Ironmongers Hall looking south from Thomas More Highwalk with remodelled CLGS boundary, John Welsey Highwalk



Proposed remodelled southern and eastern boundary to Ironmongers Hall

Main Report

Please refer to committee report for 23/010304/FULEIA

Appendix A

Relevant London Plan Policies

Policy HC1 Heritage conservation and growth

Draft City Plan 2040

Draft Strategic Policy S11: Historic Environment

Draft Policy HE1: Managing Change to Historic Environment Development

Local Plan 2015 Policies

Relevant City Corporation Guidance and Supplementary Planning Documents (SPDs)

Barbican Listed Building Management Guidelines SPD, Volumes I, II and IV (2012-2015)

Relevant Local Plan Policies

CS12 Conserve or enhance heritage assets.

To conserve or enhance the significance of the City's heritage assets and their settings, and provide an attractive environment for the City's communities and visitors.

DM12.1 Change affecting heritage assets

1. To sustain and enhance heritage assets, their settings and significance.
2. Development proposals, including proposals for telecommunications infrastructure, that have an effect upon heritage assets, including their settings, should be accompanied by supporting information to assess and evaluate the significance of heritage assets and the degree of impact caused by the development.
3. The loss of routes and spaces that contribute to the character and historic interest of the City will be resisted.
4. Development will be required to respect the significance, character, scale and amenities of surrounding heritage assets and spaces and their settings.
5. Proposals for sustainable development, including the incorporation of climate change adaptation measures, must be sensitive to heritage assets.

DM12.3 Listed buildings

1. To resist the demolition of listed buildings.
2. To grant consent for the alteration or change of use of a listed building only where this would not detract from its special architectural or historic interest, character and significance or its setting.

SCHEDULE

APPLICATION: 23/01276/LBC

Demolition of Ferroners' House alongside external alterations to the facade and roof level of Ironmongers' Hall, internal reconfiguring to cores and back of house areas and associated works in association with the development proposed at London Wall West (140 London Wall, 150 London Wall, Shaftesbury Place, and London Wall Car Park, London, EC2Y).

CONDITIONS

1. Time limit (C)

The works hereby permitted must be begun before the expiration of three years from the date of this consent.

REASON: To ensure compliance with the terms of Section 18 of the Planning (Listed Buildings and Conservation Areas) Act 1990.

2. Making good to existing fabric (C)

All new works and finishes and works of making good to the retained fabric shall match the existing adjacent work with regard to the methods used and to materials, colour, texture and profile unless shown otherwise on the drawings or other documentation hereby approved or required by any condition(s) attached to this consent.

REASON: To ensure the protection of the special architectural or historic interest of the building in accordance with the following policy of the Local Plan: DM12.3.

3. Protective measures (PCRW) Before any works thereby affected are begun details shall be provided of the proposed protective measures for retained historic fabric and features for the duration of works on site shall be submitted to and approved in writing by the Local Planning Authority and all development pursuant to this permission shall be carried out in accordance with the approved details and so retained thereafter.

REASON: To ensure the protection of the special architectural or historic interest of the building in accordance with the following policy of the Local Plan: DM12.3

4. Structural stability (C)

The stability of the structure to remain must, throughout the period of demolition and reconstruction, be assured before any works of demolition begin, taking into account any rapid release of stress, weather protection, controlled shoring, strutting, stitching, reinforcement, ties or grouting as may occur to be necessary.

REASON: To ensure the stability of the structure to be retained in accordance with the following policy of the Local Plan: DM12.3.

4. Detailed Design (PCRW)

Before any works thereby affected are begun the following details shall be submitted to and approved in writing by the Local Planning Authority in consultation with Historic England and City Gardens and all works pursuant to this permission shall be carried out in accordance with the approved details

- a. particulars and sample of the materials to be used on all external faces of the building and surface treatments in areas where the public would have access, including external ground;
- b. before the works thereby affected are begun, sample panels of brickwork shall be built, agreed on-site
- d. details of dismantling and monitoring existing boundary wall and extent and method of reuse of materials
- c. details of the proposed single storey extension and public access lift
- d. details of all new external windows and doors
- e. details of the interface between listed building and proposed new extensions and public realm
- f. details of any plant enclosure, louvers, equipment and the roofscape and fifth elevation;
- g. details of handrails and balustrades and decorative ironwork
- h. details of the boundary enclosure to Ironmongers including sample panel of the brickwork
- i. details of any lighting or signage
- j. details of any urban greening or planting fixed to building including infrastructure and maintenance
- k. a detailed schedule with specifications for any repairs and replacement works to the historic building.

REASON: To ensure that the Local Planning Authority may be satisfied with the detail of the proposed development and to ensure a satisfactory external appearance in accordance with the following policy of the Local Plan: DM12.3.

6. Recording Condition (PCRW)

During and immediately after relevant opening up works commencing, a Historic Building Recording Level 2 is to be undertaken and in accordance with a written scheme of recording which shall be submitted to and approved in writing by the Local Planning Authority. This record shall include drawings and photographic records.

REASON: To ensure the protection of the special architectural or historic interest of the building in accordance with the following policy of the Local Plan: DM12.3.

7. Monitoring demolition (C)

Methodology and monitoring statement for the demolition process for the removal of Ferroners House
REASON: To ensure the stability and integrity of the structure to be retained in accordance with the following policy of the Local Plan: DM12.3.

8. Approved Drawings (C)

The works hereby permitted shall not be carried out other than in accordance with the following approved drawings and particulars or as approved under conditions of this consent:

6594-DSRSR-IH-ZZ-DR-A-001000
6594-DSRSR-IH-ZZ-DR-A-001001
6594-DSRSR-IH-ZZ-DR-A-001002
6594-DSRSR-IH-ZZ-DR-A-001003
6594-DSRSR-IH-B1-DR-A-020997
6594-DSRSR-IH-00L-DR-A-020998
6594-DSRSR-IH-00-DR-A-020999
6594-DSRSR-IH-00U-DR-A-021000
6594-DSRSR-IH-01-DR-A-021001
6594-DSRSR-IH-02-DR-A-021002
6594-DSRSR-IH-03-DR-A-021003
6594-DSRSR-IH-R1-DR-A-021004
6594-DSRSR-IH-XX-DR-A-022005
6594-DSRSR-IH-B1-DR-A-010997
6594-DSRSR-IH-00L-DR-A-010998
6594-DSRSR-IH-00U-DR-A-011000
6594-DSRSR-IH-00-DR-A-010999
6594-DSRSR-IH-00U-DR-A-011000
6594-DSRSR-IH-01-DR-A-011001
6594-DSRSR-IH-02-DR-A-011002
6594-DSRSR-IH-XX-DR-A-012003
6594-DSRSR-IH-R1-DR-A-011004
66594-DSRSR-IH-XX-DR-A-012000
6594-DSRSR-IH-XX-DR-A-013000
6594-DSRSR-IH-XX-DR-A-012001
6594-DSRSR-IH-XX-DR-A-012002

6594-DSRSR-IH-XX-DR-A-012003
6594-DSRSR-IH-XX-DR-A-012004
6594-DSRSR-IH-XX-DR-A-012005
6594-DSRSR-IH-00L-DR-A-021099
6594-DSRSR-IH-00-DR-A-021100
6594-DSRSR-IH-01-DR-A-021101
6594-DSRSR-IH-02-DR-A-021102
6594-DSRSR-IH-03-DR-A-021103
6594-DSRSR-IH-R1-DR-A-021104
6594-DSRSR-IH-XX-DR-A-023100
6594-DSRSR-IH-XX-DR-A-022100
6594-DSRSR-IH-XX-DR-A-022101
6594-DSRSR-IH-XX-DR-A-022102
6594-DSRSR-IH-XX-DR-A-022103
6594-DSRSR-IH-XX-DR-A-022104
6594-DSRSR-IH-XX-DR-A-022105
6594-DSRSR-IH-XX-DR-A-024000

REASON: To ensure that the development of this site is in compliance with details and particulars which have been approved by the Local Planning Authority.

INFORMATIVES

- 1 In dealing with this application the City has implemented the requirements of the National Planning Policy Framework to work with the applicant in a positive and proactive manner based on seeking solutions to problems arising in dealing with planning applications in the following ways:

detailed advice in the form of statutory policies in the Local Plan, Supplementary Planning documents, and other written guidance has been made available;

a full pre application advice service has been offered;

where appropriate the City has been available to provide guidance on how outstanding planning concerns may be addressed.

- 2 You are requested to notify the Chief Planning Officer on commencement of the development in order that the works can be inspected and monitored.
- 3 This permission is granted having regard to planning considerations only and is without prejudice to the position of the City of London Corporation or Transport for London as Highway Authority; and work must not be commenced until the consent of the Highway Authority has been obtained.